



## VILLAGE OF TEQUESTA

Department of Community Development

345 Tequesta Drive  
Tequesta, Florida 33469  
Ph: 561-768-0451 / Fax: 561-768-0698  
www.tequesta.org

### DEPARTMENTAL USE ONLY

Ck. # \_\_\_\_\_

Fee: \_\_\_\_\_

Date: \_\_\_\_\_

PROJECT #: \_\_\_\_\_

## APPLICATION FOR MINOR SITE PLAN REVIEW

PLANNING & ZONING BOARD

☐ Meeting Date: \_\_\_\_\_

VILLAGE COUNCIL

☐ Meeting Date: \_\_\_\_\_

### INSTRUCTIONS TO APPLICANTS:

1. Please complete all sections of this application. If not applicable, indicate with N/A.
2. Provide all required documents as shown on the attached checklist. If not applicable indicate with N/A.

All construction, additions, and/or alterations within the Village, except in districts R-1A and R-1, must be reviewed by the Planning & Zoning Board. The Planning & Zoning Board meets the **third Thursday of every month at 5:30 p.m.**, as needed in the Village Hall Council Chambers, 345 Tequesta Drive. The applicant will be informed by letter of their scheduled meeting date. The Planning and Zoning Board shall have general authority as outlined in Sec. 22.53.

### I. PROJECT DESCRIPTION AND OWNER & AGENT INFORMATION

PROJECT NAME: Village Square of Tequesta

PROJECT ADDRESS: 221 S US Highway 1 Tequesta FL 33469

DESCRIPTION OF WORK/MODIFICATION: Russell Capital modified monument at the front of property. Our company is wanting to install & replace new green signs. The signs that are not green will be installed with new green signs. Green signs that are already there will be left up. The new sign color will be (SW6739 Lucky Green)  
Property size in acres and square feet: 75,326 ft

Estimated project cost: \$25,300.00

Property Owner(s) of Record: Morgan Russell

Address: 12008 South Shore Blvd Suite #108

Phone No.: (255) 397-5072 Fax No.: \_\_\_\_\_ E-mail Address: Mike W Keith 80@gmail.com

Applicant/Agent (if other than owner complete consent section on next page):

Name: Mike Keith

Address: 12008 South Shore Blvd Suite #108

Phone No.: (255) 397-5072 Fax No.: \_\_\_\_\_ E-mail Address: Mike W Keith 80@gmail.com

## II. LAND USE & ZONING

- A) ZONING DESIGNATION \_\_\_\_\_ B) FUTURE LAND USE DESIGNATION \_\_\_\_\_  
C) Existing Use(s) \_\_\_\_\_  
D) Proposed Use(s), as applicable \_\_\_\_\_

## III. OWNER/APPLICANT ACKNOWLEDGEMENT AND CONSENT

### Consent statement (to be completed if owner is using an agent)

I/we, the owners, hereby give consent to Mike Keith to act on my/our behalf to submit this application, all required material and documents, and attend and represent me/us at all meetings and public hearings pertaining to the application and property I/we own described in the application.

By signing this document, I/we affirm that I/we understand and will comply with the provisions and regulations of the Village of Tequesta, Florida Code of Ordinances. I/we further certify that all of the information contained in this application and all the documentation submitted is true to the best of my/our knowledge.

MORGAN RUSSELL

Owner's Name (please print)

[Signature]

Owner's Signature

11/5/18

Date

Mike Keith

Applicant/Agent's Name (please print)

[Signature]

Applicant/Agent's Signature

1-28-19

Date

## IV. APPLICATION FEES

- (1) **Review by the Planning and Zoning Board.** The Community Development Director or designee shall submit such application for Planning and Zoning Board review within 45 days of receipt of a completed application.  
Fee:    **A) \$300.00** (final approval)    OR    **B) \$500.00** (recommendation to Village Council)
- (2) **Review by Village Council.** Within 45 days of review by the Planning and Zoning Board, the Community Development Director or designee shall then submit such application, including the recommendations of the Planning and Zoning Board, for Village Council review.  
Fee: a **\$300.00 fee plus an additional fee** based on the estimated cost of work applies.

To cover all additional administrative costs, actual or anticipated, including, but not limited to, engineering fees, consultant fees and special studies, the applicant shall compensate the village for all such costs prior to the processing of the application or not later than 30 days after final application approval whichever is determined as appropriate by the village. Failure to make such payment may be grounds for not issuing a building or zoning permit, certificate of occupancy or completion.

Costs associated with advertising for public hearings and other public notice requirements are the responsibility of the applicant. The fee shall be paid prior to such application being scheduled for a public hearing requiring notice.

[Signature]  
Owner's Signature to Acknowledge

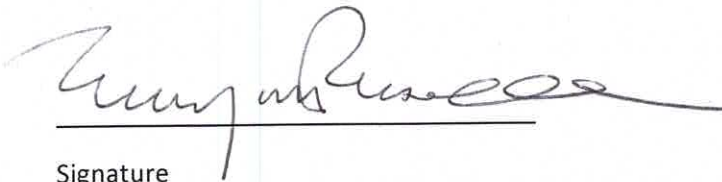


**Russell Capital LLC**

January 28, 2019

My name is Morgan Russel and I am the President and founder of Russell Capital LLC who purchased Tequesta Square over a year ago.. My general manager Mike Keith will be representing my company in the city council meeting of Tequesta, to go over the details on obtaining the new signs that will be installed on the Village Square Plaza shopping center in conjunction with an entire fifty year center renovation I have nearly completed for the benefit of the city.

I thank you for your support.

A handwritten signature in dark ink, appearing to read 'Morgan Russell', is written over a horizontal line.

Signature

Morgan Russell President:

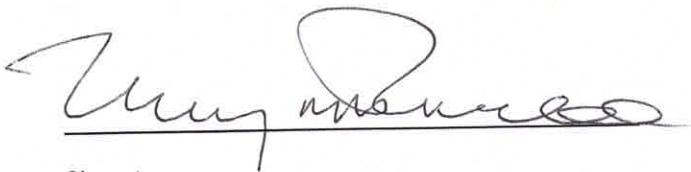
Russell Capital LLC

**Russel Capital LLC**

January 28, 2019

To: Village Square of Tequesta

My name is Morgan Russel owner of Village Square Plaza shopping center. I have put in over \$500,000 of 50 years differed maintenance into Village Square. We were approved back in September of 2018 on new signs that had a grey color on which the city council agreed upon. Since then my company has had to fund additional cost on the back-parking lot drainage and additional work to demo a garage. I have decided to change out 6 new signs to SW6926 Lucky Green rather than installing 20 new signs that would have cost the company an additional \$100,000 dollars. This color will help approve the shopping center and create a more uniform look.

A handwritten signature in dark ink, appearing to read 'Morgan Russel', written over a horizontal line.

Signature

Morgan Russel President:

Russel Capital LLC



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

## Detail by Entity Name

Florida Limited Liability Company

RUSSELL PROPERTIES OF TEQUESTA, LLC

### Filing Information

<b>Document Number</b>	L17000067724
<b>FEI/EIN Number</b>	82-1836979
<b>Date Filed</b>	03/24/2017
<b>Effective Date</b>	03/24/2017
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	LC AMENDMENT AND NAME CHANGE
<b>Event Date Filed</b>	01/31/2019
<b>Event Effective Date</b>	NONE

### Principal Address

12008 SOUTH SHORE BLVD.  
WELLINGTON, FL 33414

Changed: 01/31/2019

### Mailing Address

12008 SOUTH SHORE BLVD.  
WELLINGTON, FL 33414

Changed: 01/31/2019

### Registered Agent Name & Address

SIMON, MICHAEL W  
3839 NW BOCA RATON BLVD., SUITE 100  
BOCA RATON, FL 33431

Name Changed: 01/31/2019

Address Changed: 01/31/2019

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

RUSSELL, MORAN

1209 NW 3RD AVE.  
DELRAY BEACH, FL 33444

**Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2018	03/26/2018

**Document Images**

<a href="#">01/31/2019 -- LC Amendment and Name Change</a>	<a href="#">View image in PDF format</a>
<a href="#">03/26/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/11/2017 -- LC Amendment</a>	<a href="#">View image in PDF format</a>
<a href="#">03/24/2017 -- Florida Limited Liability</a>	<a href="#">View image in PDF format</a>

January 28th<sup>th</sup>, 2019

Russell Capital LLC

To: Village of Tequesta  
Department of Community Development  
345 Tequesta Drive  
Tequesta, FL 33469

RE: 221 U.S Highway 1, Tequesta, FL 33469, Proposed Uniform Signage Criteria

Dear Village of Tequesta,

As the building owner, the proposed tenant signage criteria color will be "SW6926 Lucky Green" and will consist of new reverse channel letters with Sloan Prism 6500K White LEDs, in font "Source Sans Pro Bold". Returns shall be .063 aluminum with 1.5" stand-off spacers.

Tenants shall be permitted a single line of text represent their establishment name, abbreviated if required due to space limitations, and approved by the building owner.

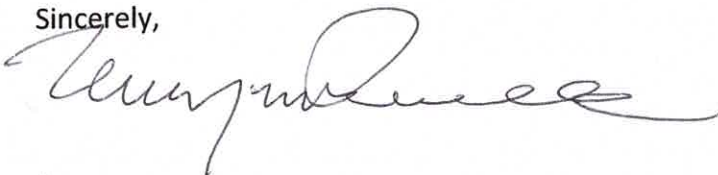
Each establishment shall be permitted one wall sign mounted above their leased premises on shared building frontage which shall not exceed sixty square feet in area.

Signs shall be 12" high (typical throughout), with exceptions for end-cap establishments where they may be permitted to 1'-6 (18") space permitting.

By: Russell Capital LLC – Morgan Russell

Address: 12008 South Shore Blvd suite # 108 Wellington FL, 33414

Sincerely,

A handwritten signature in black ink, appearing to read "Morgan Russell", written in a cursive style.



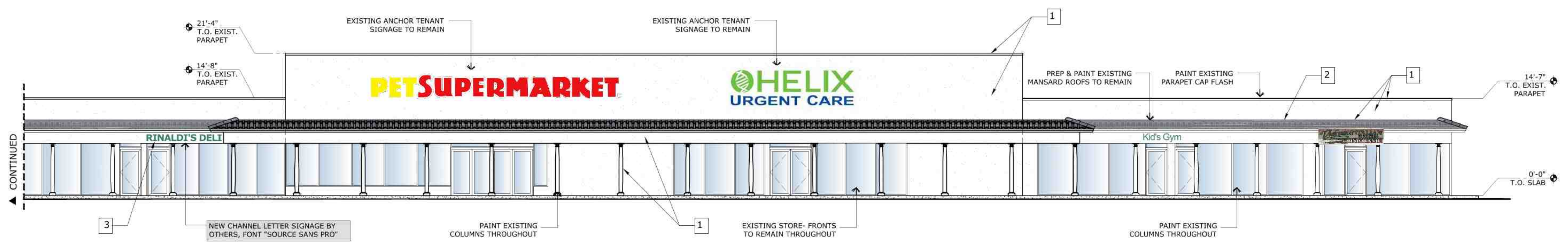
Russell Capital

221 S. US Hwy #1  
Tequesta, FL

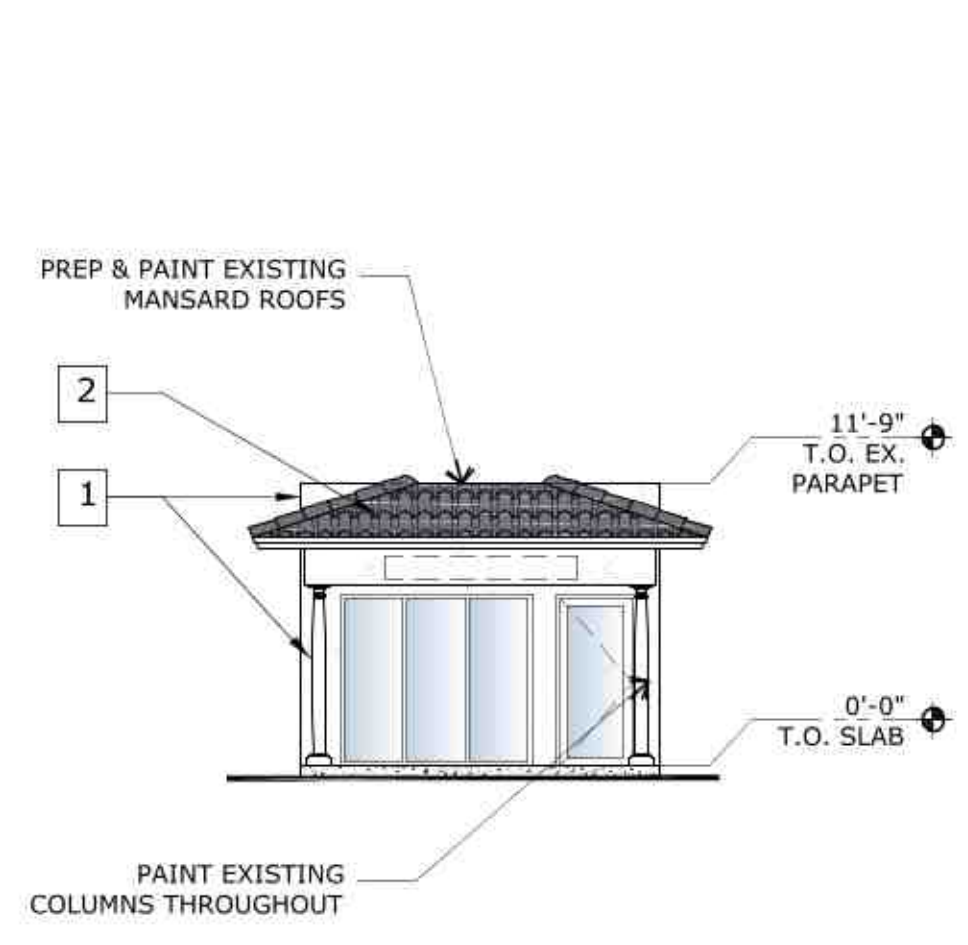
VILLAGE SQUARE  
SHOPPING CENTER



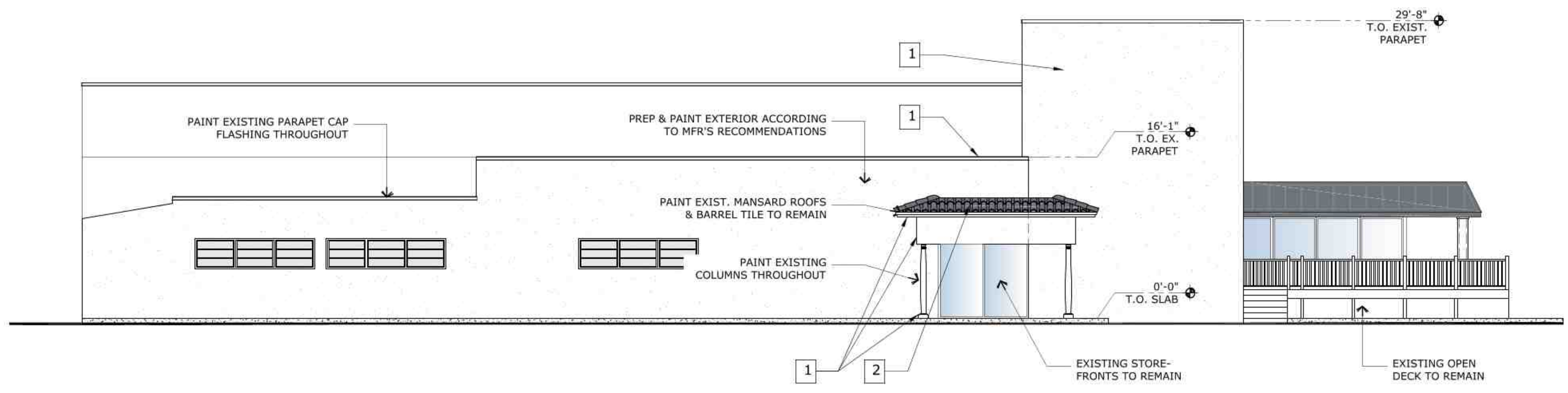
X COLOR SCHEDULE		
COLOR	MARK	DESCRIPTION
	1	SW7005 PURE WHITE
	2	SW7665 WALL STREET
	3	SW6926 LUCKY GREEN



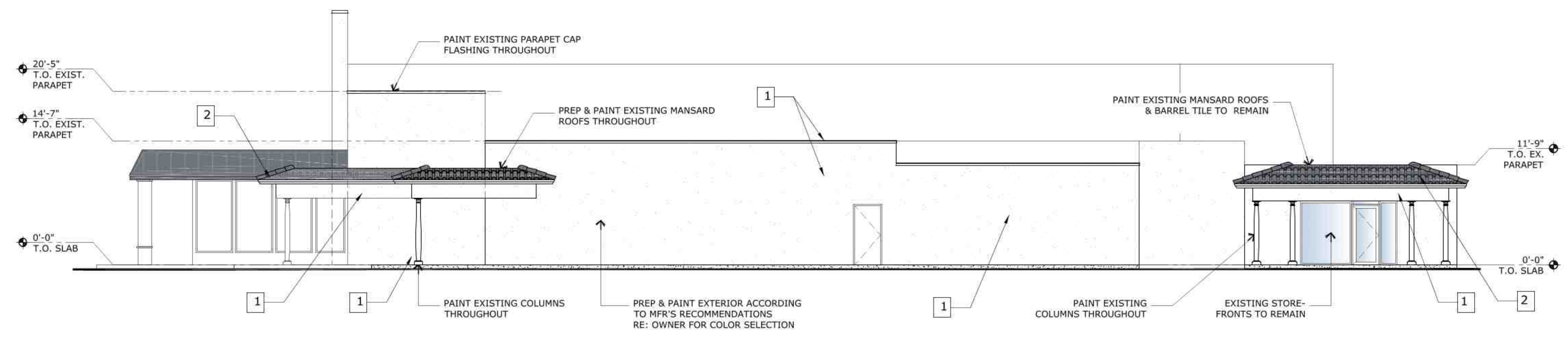
PARTIAL WEST ELEVATION (CONT.)



NORTH OUTPARCEL



NORTH ELEVATION



SOUTH ELEVATION



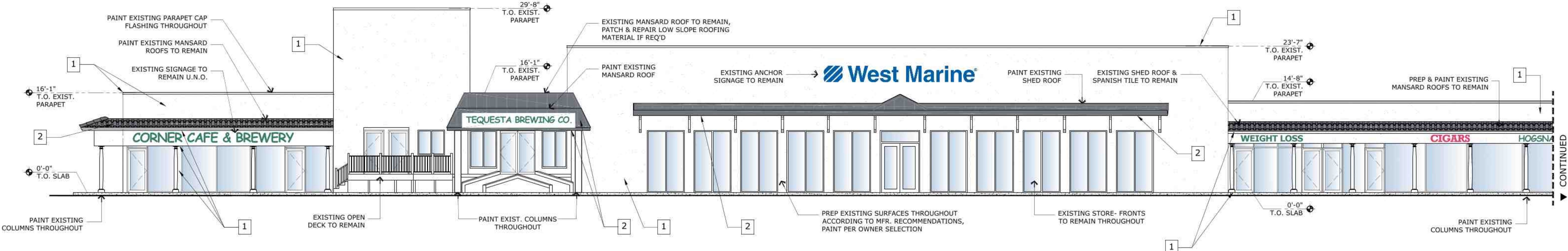
Russell Capital

221 S. US Hwy #1  
Tequesta, FL

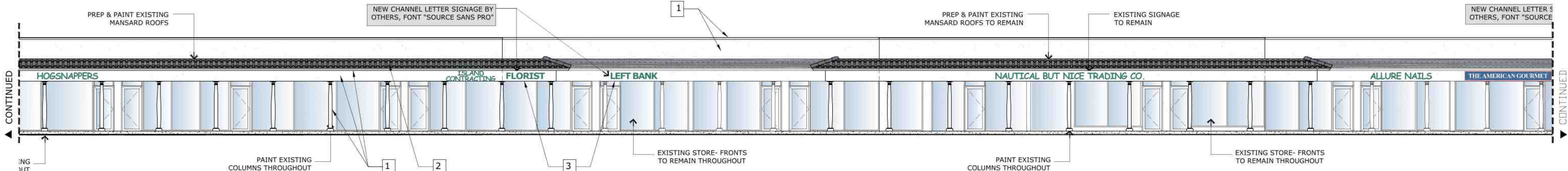
# VILLAGE SQUARE SHOPPING CENTER



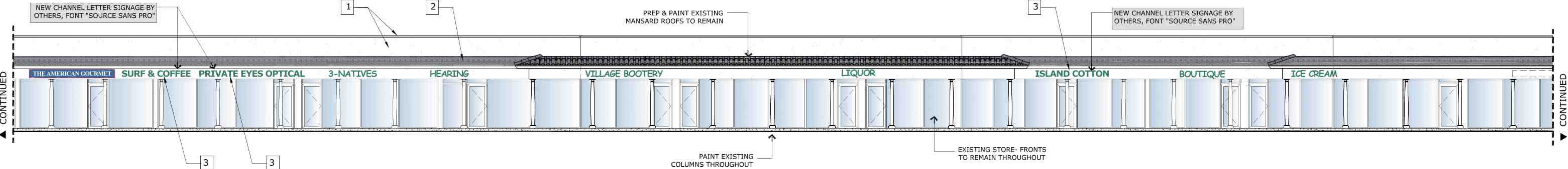
X COLOR SCHEDULE		
COLOR	MARK	DESCRIPTION
	1	SW7005 PURE WHITE
	2	SW7665 WALL STREET
	3	SW6926 LUCKY GREEN



PARTIAL WEST ELEVATION



PARTIAL WEST ELEVATION (CONT.)



PARTIAL WEST ELEVATION (CONT.)



# Village Square of Tequesta

221 S US Highway  
Jupiter, FL 33469

Job Number: 65563

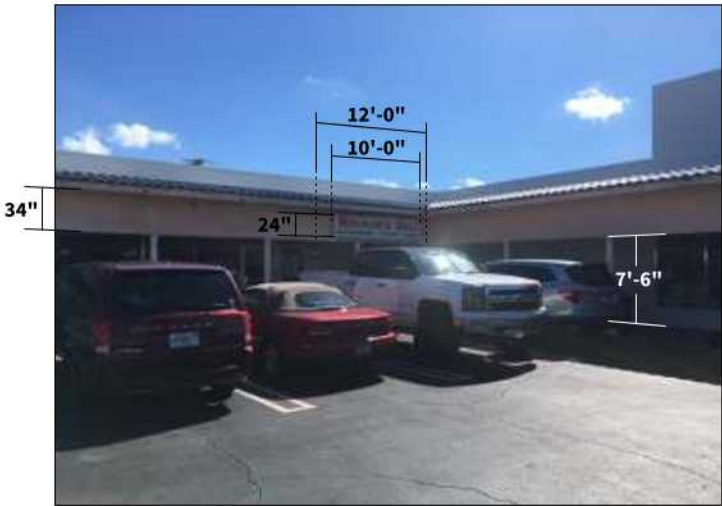
Sales Rep: RW

Designer: BB

November 30, 2018



**Scope Of Work:** Manufacture and install new reverse-lit channel letter set in place of existing signage. Letters to be painted to match SW 6926 Lucky Green. Installed on a 34" sign band.



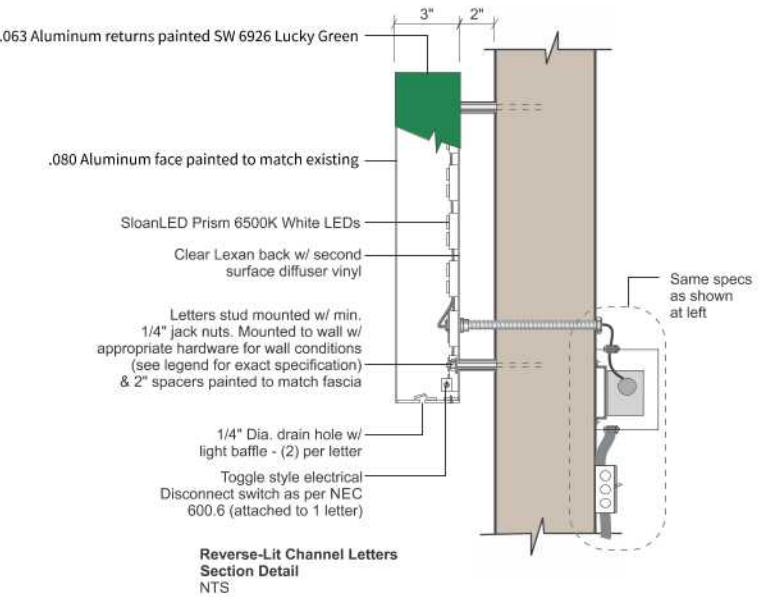
9'-11 5/8"

12" **RINALDI'S DELI**

1 Front Elevation - Source Sans Pro (Bold)  
Scale: 1/2"=1'-0"

Color Reference Chart

- P1 SW 7005 Pure White
- P2 SW 7665 Wall Street
- P3 SW 6926 Lucky Green





**AMERICAN / INTERSTATE  
SIGNCRAFTERS**

130 Commerce Road, Boynton Beach FL 33426 | (561) 547-3760  
327 New South Road, Hicksville NY 11801 | (631) 273-4800  
americansigncrafters.com

PROJECT

Village Square  
of Tequesta

221 S US Highway 1, Jupiter FL 33469

DATE

10.22.18

ACCOUNT  
EXECUTIVE

RW

PROJECT  
MANAGER

LC

DESIGNER

BB

REVISIONS
BB - 11.30.18 - Change sizes/layouts

APPROVAL

☐ Approved

☐ Approved as Noted

☐ Revise & Resubmit

Approved:

Date:

• ALL ELECTRICAL COMPONENTS ARE TO BE U.L. LISTED AND APPROVED AS PER NEC 5 2011

• ALL TRANSFORMERS GROUND FAULT PROTECTED & COMPLY WITH NEC 600-23


• ALL SECONDARY WIRING INSIDE LETTER IS TO BE HIGH TENSION GTO AS PER NEC 600-31

• ALL PRIMARY WIRING TO BE #12 THWN AS PER NEC 600-5

• GROUNDING AND BONDING AS PER NEC 250

• INSTALLATION WILL COMPLY WITH ALL OF THE REQUIREMENTS OF NEC 600 & FBC 506.2.4

• SIGNS WILL BE CONTROLLED BY A PHOTOCELL OR ASTRONOMICAL TIME CLOCK.



JOB #

65563

PAGE

2 OF 7



**Scope Of Work:** Manufacture and install new reverse-lit channel letter set in place of existing signage. Letters to be painted to match SW 6926 Lucky Green. Installed on a 34" sign band.

**NOTE:** Survey needed for accurate placement



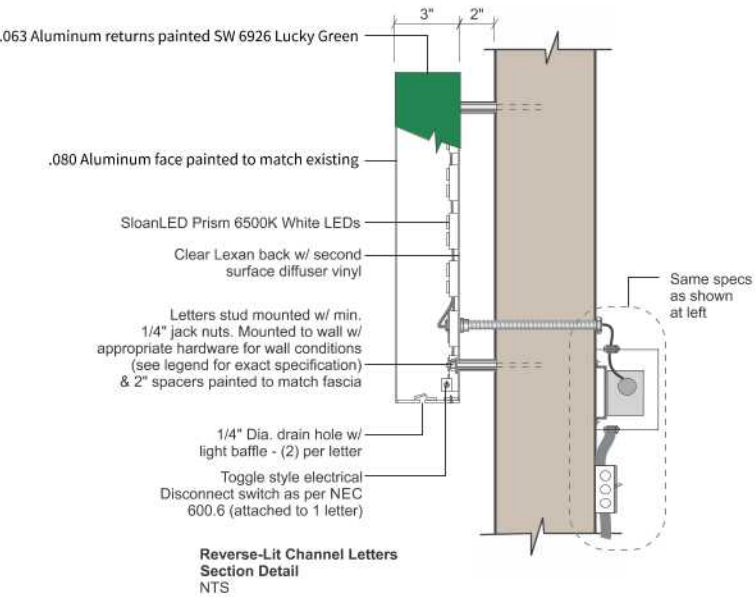
Photo Elevation Depiction Intended For General Concept Illustration  
Actual Sizing & Perspective Will Vary Slightly From Image



1 Front Elevation - Source Sans Pro (Bold)  
Scale: 1/2"=1'-0"

Color Reference Chart

- P1 SW 7005 Pure White
- P2 SW 7665 Wall Street
- P3 SW 6926 Lucky Green



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americansigncrafters.com

PROJECT  
**Village Square  
of Tequesta**  
221 S US Highway 1, Jupiter FL 33469

DATE  
10.22.18  
ACCOUNT  
RW  
EXECUTIVE  
LC  
PROJECT  
MANAGER  
DESIGNER  
BB

REVISIONS  
BB - 11.30.18 - Change sizes/layouts

APPROVAL

- ☐ Approved
- ☐ Approved as Noted
- ☐ Revise & Resubmit

Approved:  
Date:

• ALL ELECTRICAL COMPONENTS ARE TO BE U.L. LISTED AND APPROVED AS PER NEC 5 2011  
• ALL TRANSFORMERS GROUND FAULT PROTECTED & COMPLY WITH NEC 690-23  
• ALL SECONDARY WIRING INSIDE LETTER IS TO BE HIGH TENSION GTO AS PER NEC 800-31  
• ALL PRIMARY WIRING TO BE #12 THWN AS PER NEC 80-5  
• GROUNDING AND BONDING AS PER NEC 250  
• INSTALLATION WILL COMPLY WITH ALL OF THE REQUIREMENTS OF NEC 800 & FBC 506.2.4  
• SIGNS WILL BE CONTROLLED BY A PHOTOCELL OR ASTRONOMICAL TIME CLOCK



JOB #  
**65563**  
PAGE  
**3 OF 7**



**Scope Of Work:** Manufacture and install new reverse-lit channel letter set in place of existing signage. Letters to be painted to match SW 6926 Lucky Green. Installed on a 34" sign band.



Photo Elevation Depiction Intended For General Concept Illustration  
Actual Sizing & Perspective Will Vary Slightly From Image

14'-0"

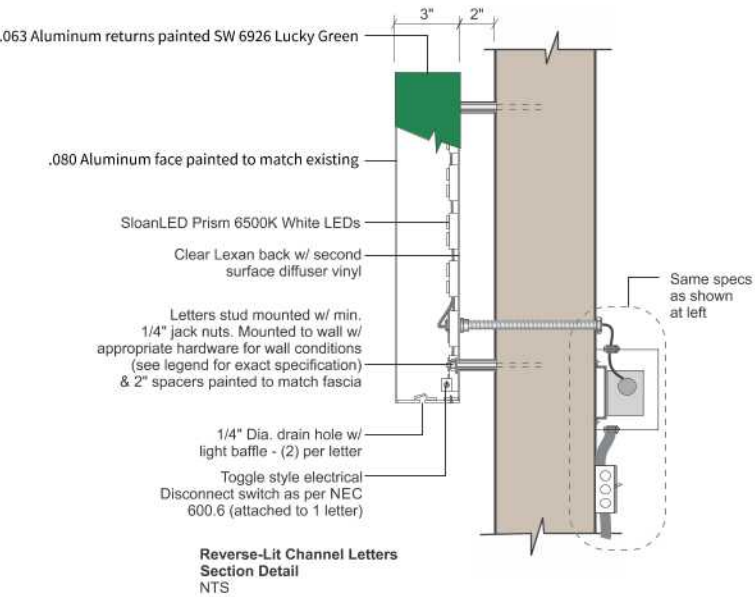
11"

**PRIVATE EYES OPTICAL**

1 Front Elevation - Source Sans Pro (Bold)  
Scale: 1/2"=1'-0"

Color Reference Chart

- P1 SW 7005 Pure White
- P2 SW 7665 Wall Street
- P3 SW 6926 Lucky Green



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americansigncrafters.com

PROJECT

Village Square  
of Tequesta

221 S US Highway 1, Jupiter FL 33469

DATE

10.22.18

ACCOUNT  
EXECUTIVE

RW

PROJECT  
MANAGER

LC

DESIGNER

BB

REVISIONS

BB - 11.30.18 - Change sizes/layouts

APPROVAL

- ☐ Approved
- ☐ Approved as Noted
- ☐ Revise & Resubmit

Approved:  
Date:

• ALL ELECTRICAL COMPONENTS ARE TO BE U.L. LISTED AND APPROVED AS PER NEC 5 2011  
• ALL TRANSFORMERS GROUND FAULT PROTECTED & COMPLY WITH NEC 600-23  
• ALL SECONDARY WIRING INSIDE LETTER IS TO BE HIGH TENSION GTO AS PER NEC 600-31  
• ALL PRIMARY WIRING TO BE #12 THWN AS PER NEC 600-5  
• GROUNDING AND BONDING AS PER NEC 250  
• INSTALLATION WILL COMPLY WITH ALL OF THE REQUIREMENTS OF NEC 600 & FBC 506.2.4  
SIGNS WILL BE CONTROLLED BY A PHOTOCELL OR ASTRONOMICAL TIME CLOCK.



JOB #

65563

PAGE

4

OF 7



**Scope Of Work:** Manufacture and install new reverse-lit channel letter set in place of existing signage. Letters to be painted to match SW 6926 Lucky Green. Installed on a 34" sign band.



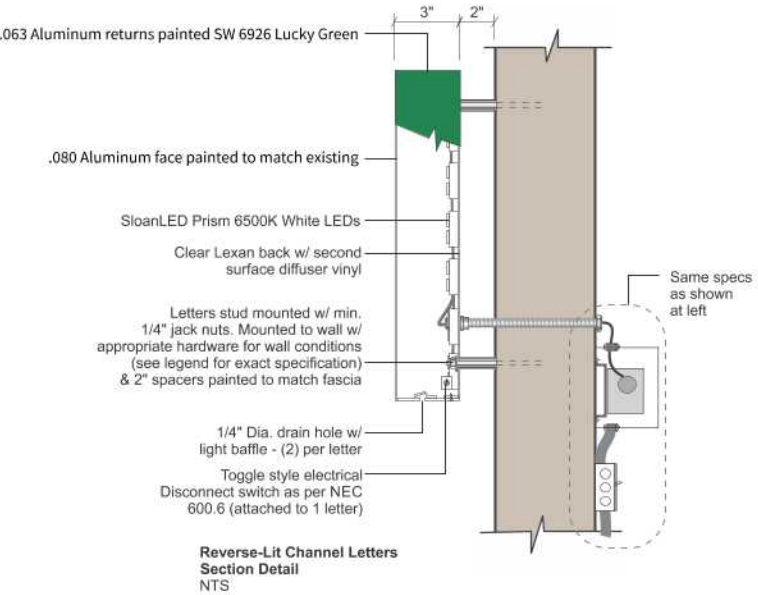
Photo Elevation Depiction Intended For General Concept Illustration  
Actual Sizing & Perspective Will Vary Slightly From Image



1 Front Elevation - Source Sans Pro (Bold)  
Scale: 1/2"=1'-0"

Color Reference Chart

- P1 SW 7005 Pure White
- P2 SW 7665 Wall Street
- P3 SW 6926 Lucky Green



**AMERICAN / INTERSTATE  
SIGNCRAFTERS**

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americansigncrafters.com

PROJECT

**Village Square  
of Tequesta**

221 S US Highway 1, Jupiter FL 33469

DATE

10.22.18

ACCOUNT  
EXECUTIVE

RW

PROJECT  
MANAGER

LC

DESIGNER

BB

REVISIONS
BB - 11.30.18 - Change sizes/layouts

APPROVAL

☐ Approved

☐ Approved as Noted

☐ Revise & Resubmit

Approved: \_\_\_\_\_

Date: \_\_\_\_\_

• ALL ELECTRICAL COMPONENTS ARE TO BE U.L. LISTED AND APPROVED AS PER NEC 5 2011

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• ALL SECONDARY WIRING INSIDE LETTER IS TO BE HIGH TENSION GTO AS PER NEC 690-31

• ALL PRIMARY WIRING TO BE #12 THWN AS PER NEC 690-5

• GROUNDING AND BONDING AS PER NEC 250

• INSTALLATION WILL COMPLY WITH ALL OF THE REQUIREMENTS OF NEC 690 & FBC 506.2.4

• SIGNS WILL BE CONTROLLED BY A PHOTOCELL OR ASTRONOMICAL TIME CLOCK.

JOB #

**65563**

PAGE

**5**

**OF 7**



**Scope Of Work:** Manufacture and install new reverse-lit channel letter set in place of existing signage. Letters to be painted to match SW 6926 Lucky Green. Installed on a 34" sign band.



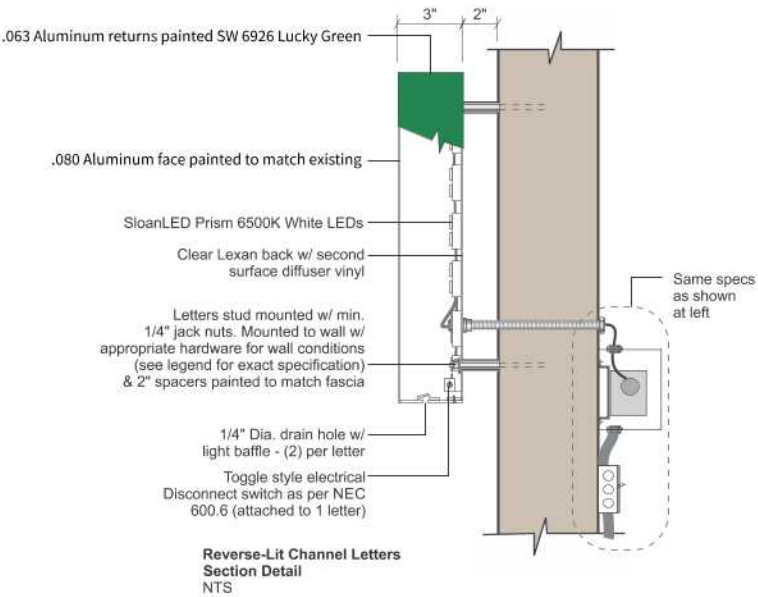
Photo Elevation Depiction Intended For General Concept Illustration  
Actual Sizing & Perspective Will Vary Slightly From Image



1 Front Elevation - Source Sans Pro (Bold)  
Scale: 1/2"=1'-0"

Color Reference Chart

- P1 SW 7005 Pure White
- P2 SW 7665 Wall Street
- P3 SW 6926 Lucky Green



**AMERICAN / INTERSTATE  
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**Village Square  
of Tequesta**

221 S US Highway 1, Jupiter FL 33469

DATE

10.22.18

ACCOUNT  
EXECUTIVE

RW

PROJECT  
MANAGER

LC

DESIGNER

BB

REVISIONS

BB - 11.30.18 - Change sizes/layouts

APPROVAL

☐ Approved

☐ Approved as Noted

☐ Revise & Resubmit

Approved:

Date:

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• ALL PRIMARY WIRING TO BE #12 THWN AS PER NEC 80-5

• GROUNDING AND BONDING AS PER NEC 250

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JOB #

**65563**

PAGE

**6 OF 7**

**Scope Of Work:** Manufacture and install new reverse-lit channel letter set in place of existing signage. Letters to be painted to match SW 6926 Lucky Green. Installed on a 34" sign band.



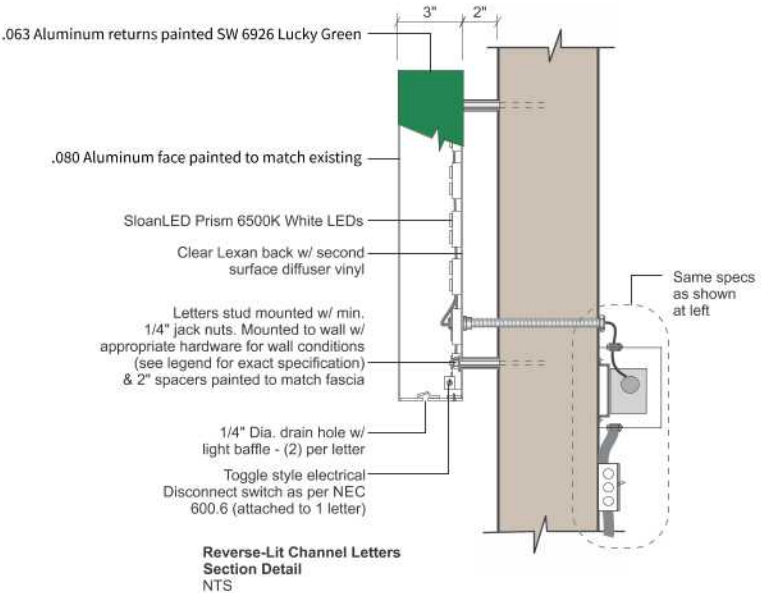
Photo Elevation Depiction Intended For General Concept Illustration  
Actual Sizing & Perspective Will Vary Slightly From Image



1 Front Elevation - Source Sans Pro (Bold)  
Scale: 1/2"=1'-0"

Color Reference Chart

- P1 SW 7005 Pure White
- P2 SW 7665 Wall Street
- P3 SW 6926 Lucky Green





**AMERICAN / INTERSTATE  
SIGNCRAFTERS**

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327 New South Road, Hicksville NY 11801 | (631) 273-4800  
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of Tequesta

221 S US Highway 1, Jupiter FL 33469

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EXECUTIVE

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MANAGER

LC

DESIGNER

BB

REVISIONS	
BB - 11.30.18 - Change sizes/layouts	

APPROVAL

☐ Approved

☐ Approved as Noted

☐ Revise & Resubmit

Approved:

Date:

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• ALL PRIMARY WIRING TO BE #12 THWN AS PER NEC 60-5

• GROUNDING AND BONDING AS PER NEC 250

• INSTALLATION WILL COMPLY WITH ALL OF THE REQUIREMENTS OF NEC 800 & FBC 506.2.4

• SIGNS WILL BE CONTROLLED BY A PHOTOCELL OR ASTRONOMICAL TIME CLOCK.



JOB #

65563

PAGE

7 OF 7



# RCMR JV LLC

July 11<sup>th</sup>, 2018

To: Village of Tequesta  
Department of Community Development  
345 Tequesta Drive  
Tequesta, FL 33469

From: RCMRJV, LLC  
110 S.E. 2<sup>nd</sup> Street, Ste. 101  
Delray Beach, FL 33444

RE: 221 U.S. Highway 1, Tequesta, FL 33469, Proposed Uniform Signage Criteria

Dear Village of Tequesta,

As the Building Owner, the proposed tenant signage criteria shall consist of new reverse channel letters with Lexan backs, backlit with white LEDs, in font "Verdana" in Sherwin Williams color SW7615 "Sea Serpent." White may be permitted where contrast against building or roofing color is required for visibility. Returns shall be .063 aluminum with 1.5" stand-off spacers.

Tenants shall be permitted a single line of text to represent their establishment name, abbreviated if required due to space limitations, and approved by the building Owner.

Each establishment shall be permitted one wall sign mounted above their leased premises on shared building frontage which shall not exceed sixty (60) square feet in area.

Signs shall be 12" high (typical throughout), with exceptions for end-cap establishments where they may be permitted to be 1'-6" (18"), space permitting.

Establishments with standard trademark signs shall be exempt from these Uniform Sign Code requirements established herein and adhere only to square footage and frontage requirements. Establishments may be permitted colors outside the (2) colors above if they are standard trademark.

By: RCMRJV, LLC – Alex Redfearn




Address: 110 S.E. 2<sup>nd</sup> Street, Ste. 101 - Delray Beach, FL 33444

Sincerely,



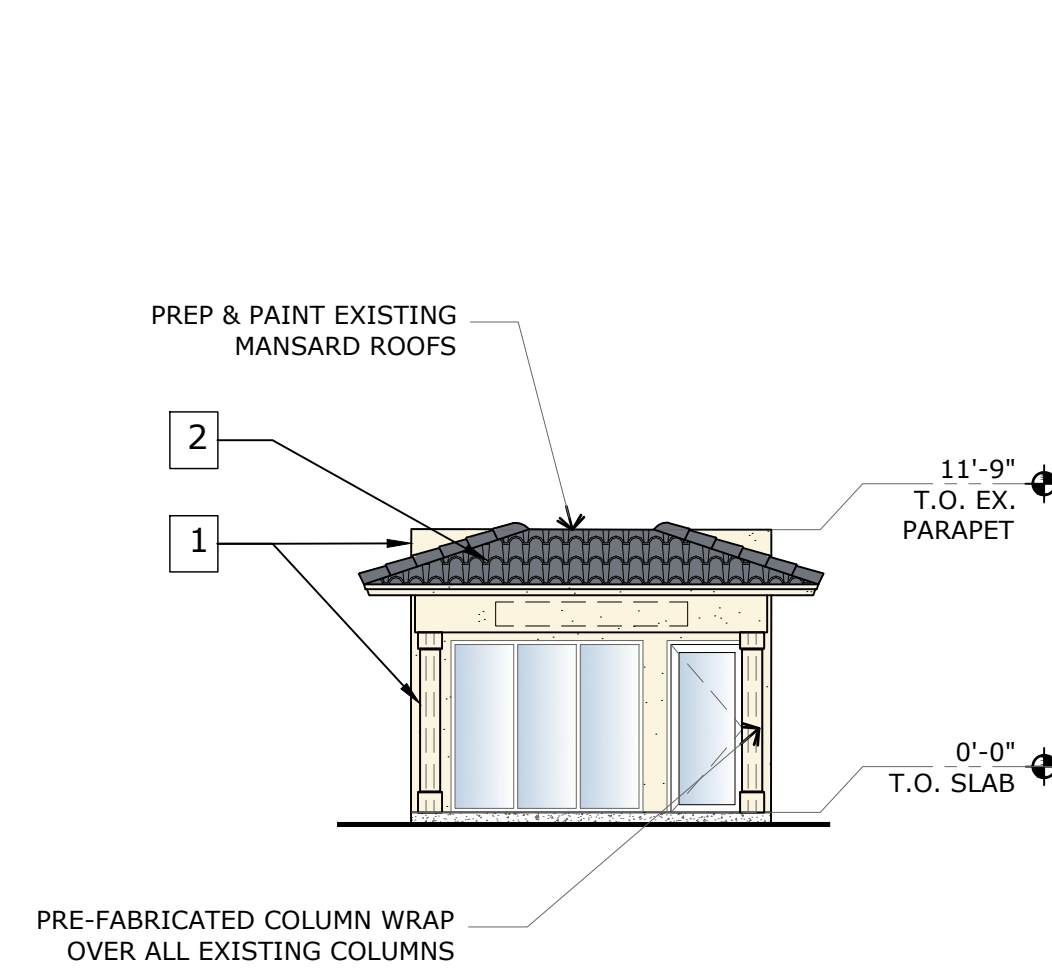
RCMRJV, LLC.  
Alex Redfearn



<div> <div> <div></div> <div>X</div> </div> <div>COLOR SCHEDULE</div> </div>		
Sherwin-Williams Color Palate		
COLOR	MARK	DESCRIPTION
	<div>1</div>	COLOR: SW 7005 - "PURE WHITE"
	<div>2</div>	COLOR: SW 7665 - "WALL STREET"
	<div>3</div>	COLOR: SW 7615 - "SEA SERPENT"
GENERAL NOTES <ol style="list-style-type: none"> <li>Refer to official exterior color palette samples from the manufacturer. They are shown herein for purely representational purposes only.</li> <li>Prep surfaces before application according to paint supplier recommendations.</li> </ol>		

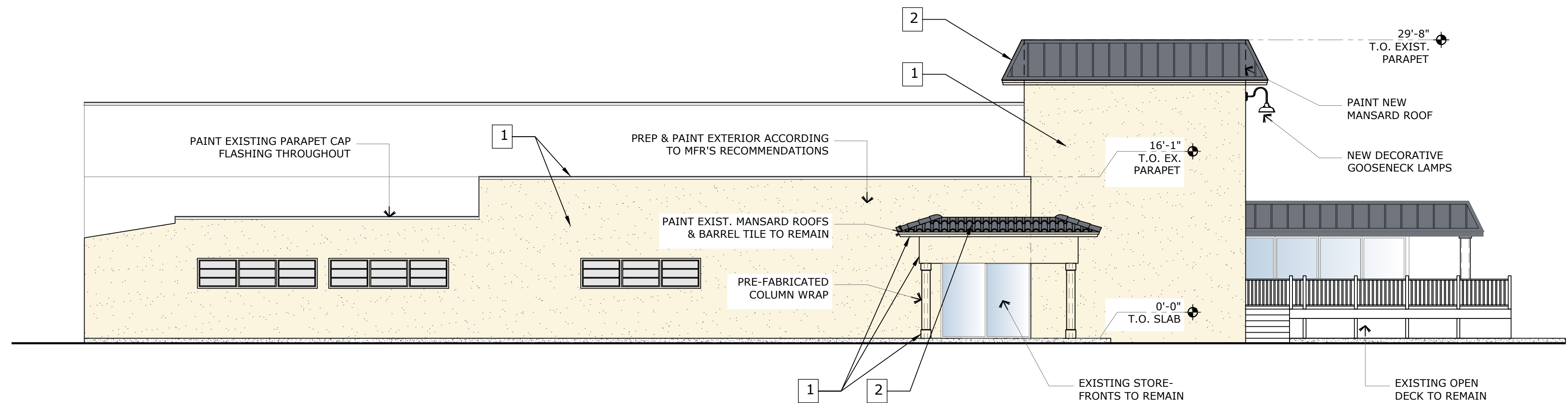
## GENERAL NOTES

1. See Exterior Elevations for selected color.
2. Refer to Wall Sections & Roof Plans for more information.



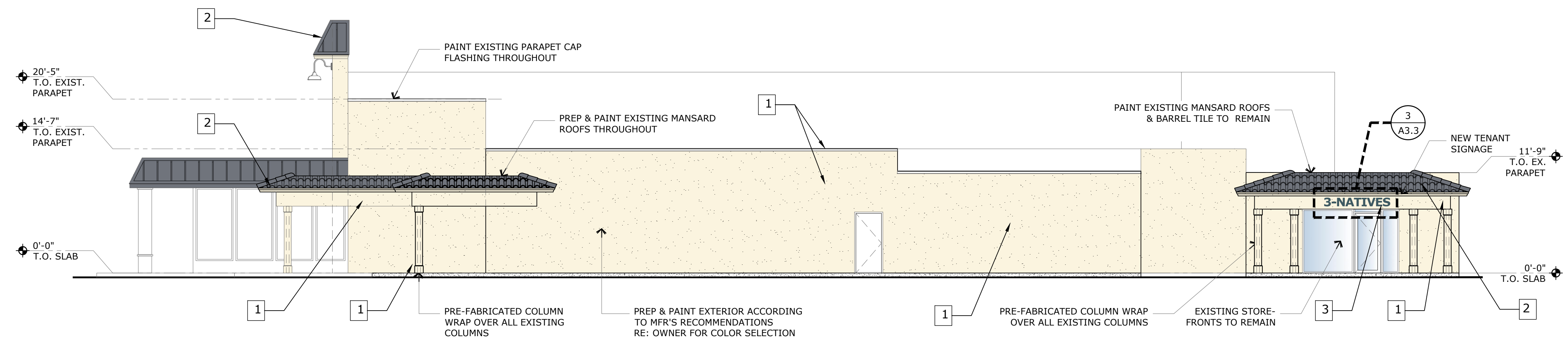
### 3 - NORTH OUTPARCEL ELEVATION

SCALE: 1/8" = 1'-0"

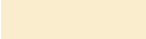




1 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



2 - SOUTH ELEVATION

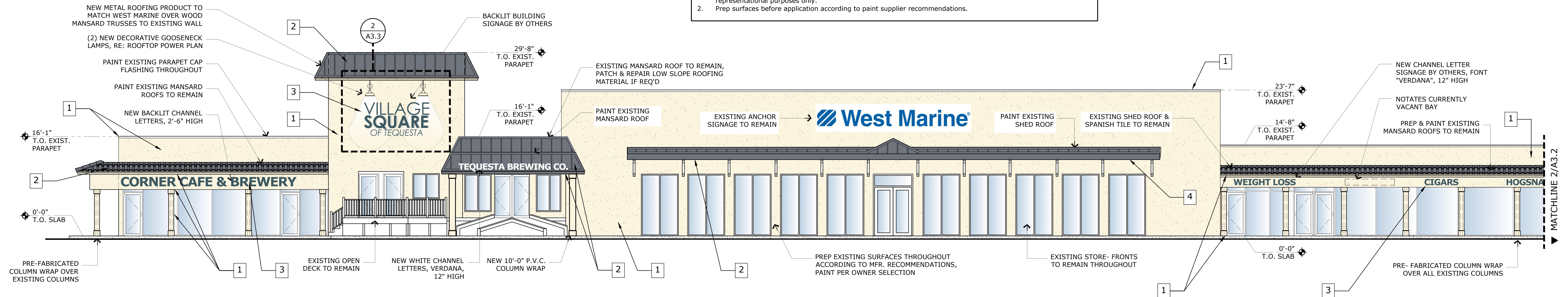
<div> <div>X</div> <div>COLOR SCHEDULE</div> </div>		
Sherwin-Williams Color Palette		
COLOR	MARK	DESCRIPTION
	<div>1</div>	COLOR: SW 7005 - "PURE WHITE"
	<div>2</div>	COLOR: SW 7665 - "WALL STREET"
	<div>3</div>	COLOR: SW 7615 - "SEA SERPENT"

**GENERAL NOTES**

- Refer to official exterior color palette samples from the manufacturer. They are shown herein for purely representational purposes only.
- Prep surfaces before application according to paint supplier recommendations.

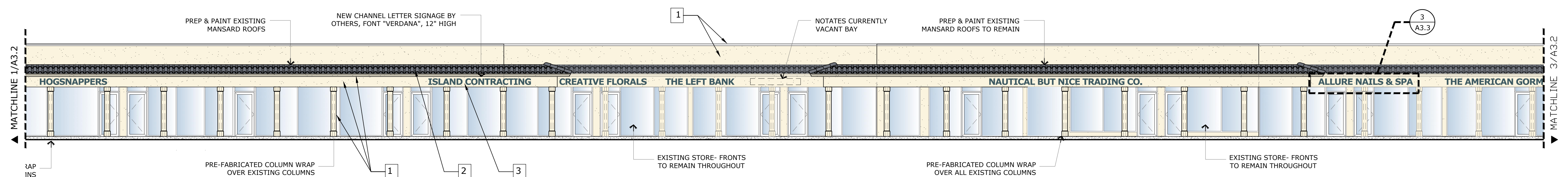
## GENERAL NOTES

1. See Exterior Elevations for selected color.
2. Refer to Wall Sections & Roof Plans for more information.



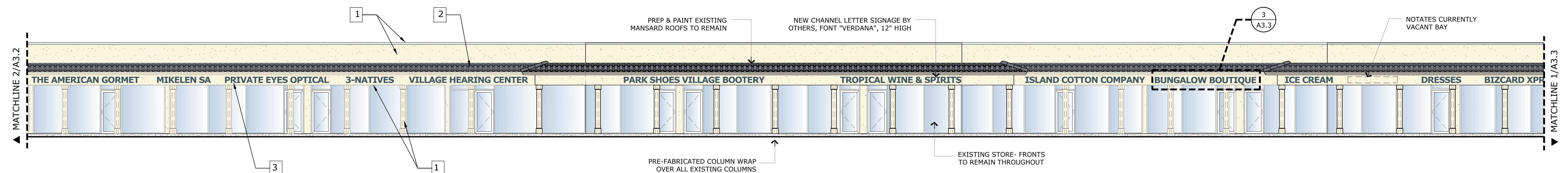
1 - PARTIAL WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 - PARTIAL WEST ELEVATION

SCALE: 1/8" = 1'-0"



### 3 - PARTIAL WEST ELEVATION

SCALE: 1/8" = 1'-0"

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O: ( 772) 220-4411  
[www.n2archdesign.com](http://www.n2archdesign.com)

NIKI L. NOFTUILL, R.A.  
AR91827

## Village Square Shopping Center

2221 S. U.S. Highway 1  
Tequesta, FL 33469  
Alex Redfearn, RCMRJV, LLC  
(954) 553-7431

Rev. #	Date
Project Number	17-0348
Status	Site Plan Approval
Issue date	13-Jul-18
Sheet	A3 2

### A3.2

## Building Elevations



GENERAL NOTES	
1.	See Exterior Elevations for selected color.
2.	Refer to Wall Sections & Roof Plans for more information.



SCALE: 1/8" = 1'-0"




SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"

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O: ( 772 ) 220-4411  
[www.n2archdesign.com](http://www.n2archdesign.com)

The logo for n2 architecture, featuring a large lowercase 'n' and a smaller '2' to its right, with the word 'architecture' in a smaller font below the '2'.

Niki L. Norton, R.A.

# Village Square Shopping Center

221 S. U.S. Highway 1  
Tequesta, FL 33469  
Alex Redfearn, RCMRJV, LLC  
(954) 553-7431

Rev. #	Date
Project Number	17-0348
Status	Site Plan Approval
Issue date	13-Jul-18
Sheet	A3 3

### A3.3

## Building Elevations





221 S. US Hwy #1  
Tequesta, FL

# VILLAGE SQUARE SHOPPING CENTER



## SIGNAGE CONCEPT

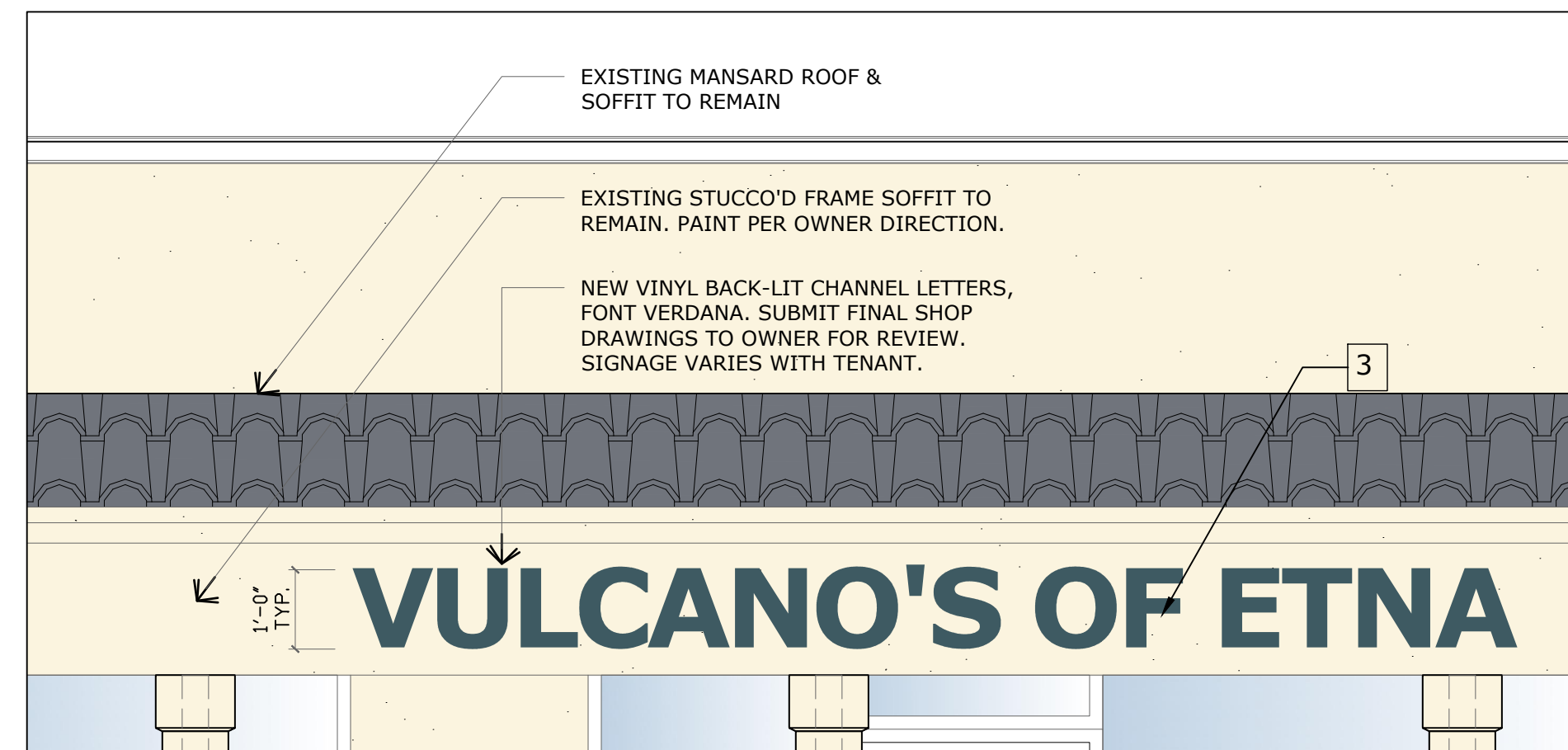
### PROPOSED SIGNAGE EXAMPLES

**Uniform Sign Code**  
Signs shall be 12" high throughout, with exceptions for end-cap establishments where they may be permitted to be 1'-6", space permitting.

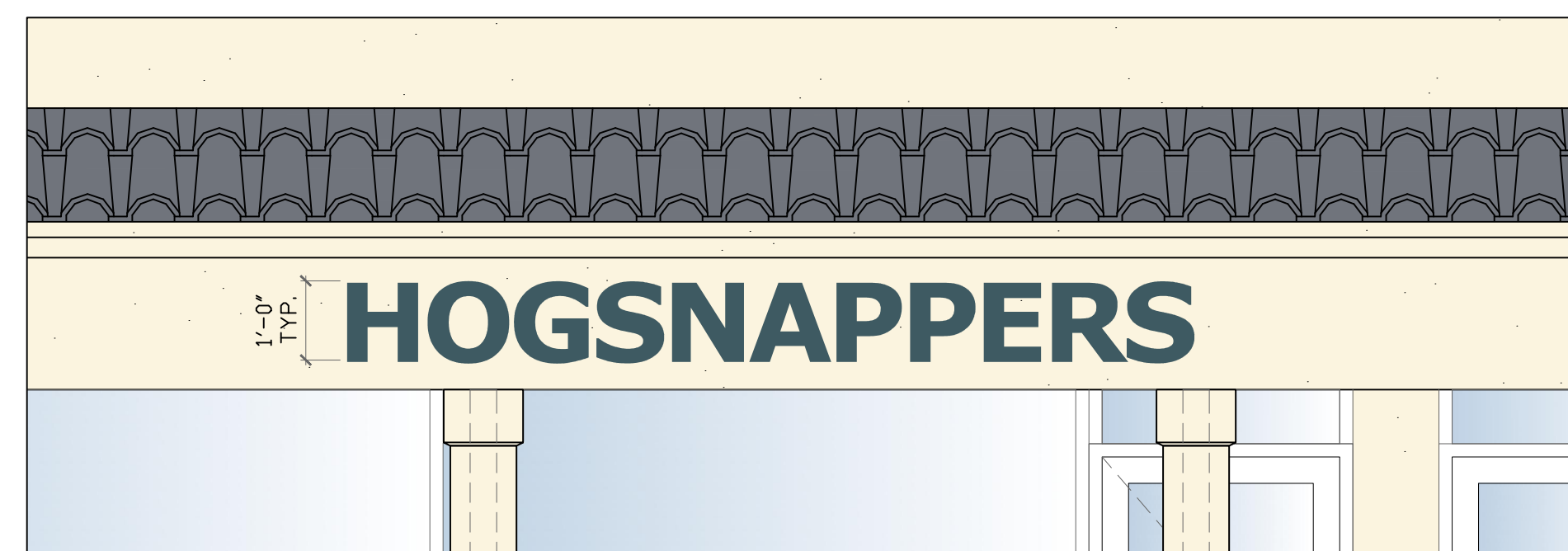
Tenants shall be permitted a single line of text to represent their establishment name, abbreviated if required due to space limitations, and approved by the building owner.

The proposed tenant signage shall consist of new reverse channel letters with Lexan backs, backlit with white LEDs, in font "Verdana" in Sherwin Williams SW7615 "Sea Serpent." White may be permitted where contrast against building color is required for visibility. Returns shall be 0.063 aluminum with 1.5" stand-off spacers.

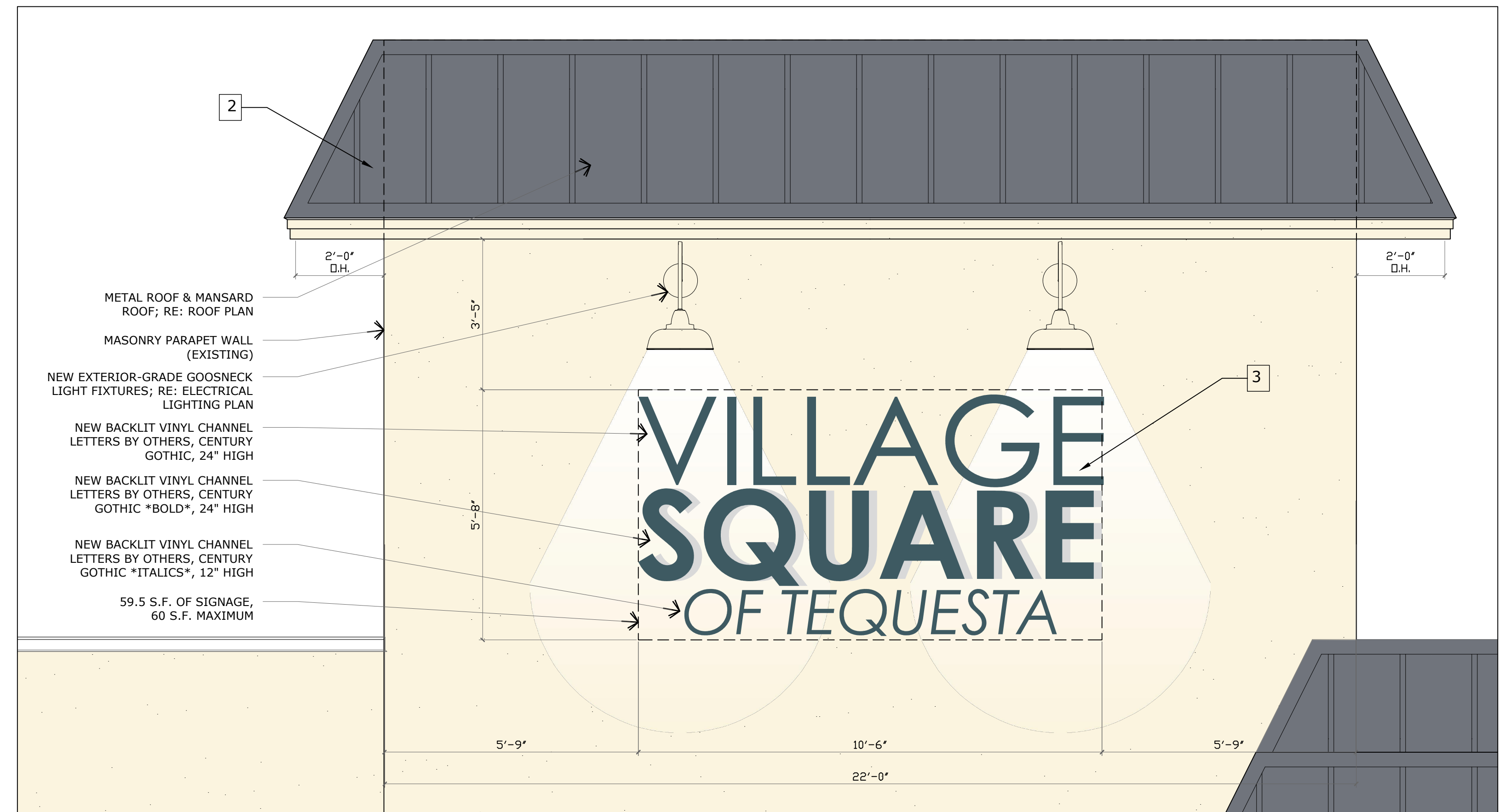
Lighting Maintenance 1209 North Haverhill West Palm Beach, FL 33417
<b>SCHEDULE</b>
<b>FACE</b> .090 ALUMINUM WELDED TO RETURNS
<b>RETURNS</b> .063 ALUMINUM W/ LEXAN BACKS
<b>COLOR</b> SW7615 "SEA SERPENT"
<b>FONT</b> VERANDA 12" HIGH
<b>MOUNTING</b> 1.5" STAND-OFF SPACERS AS PER DETAIL
<b>ILLUMINATION</b> WHITE LEDS



### UNIFORM SIGN CODE

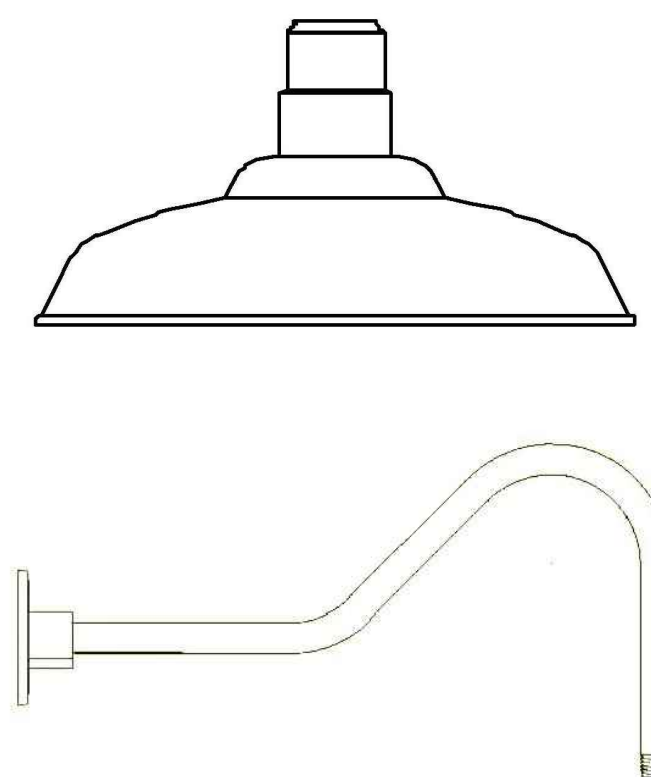


### BUILDING PRIMARY WALL SIGNAGE



## MATERIAL SAMPLES

### GOOSENECK LIGHTING



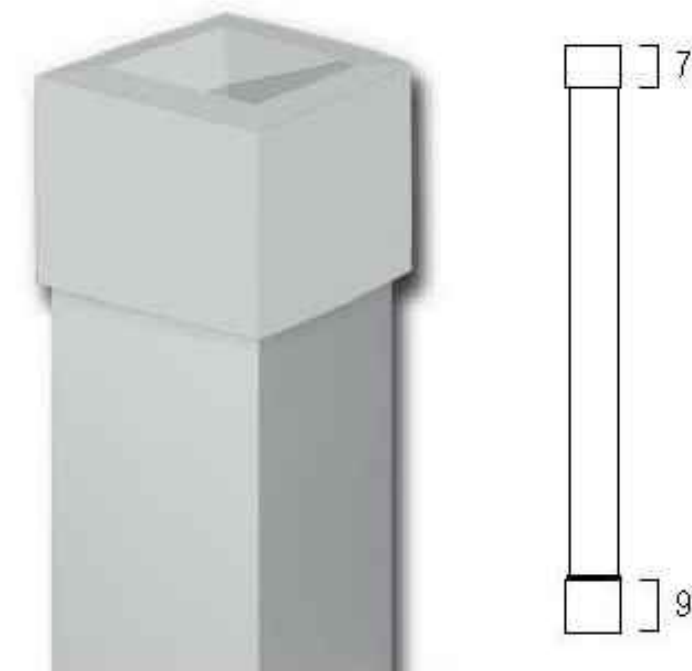
**Gooseneck Light Fixtures & Extension Arms**  
Warehouse Shades & Arm Extensions in White Anodized Finish with 79W LEDs.

### COVERED WALK LIGHTING



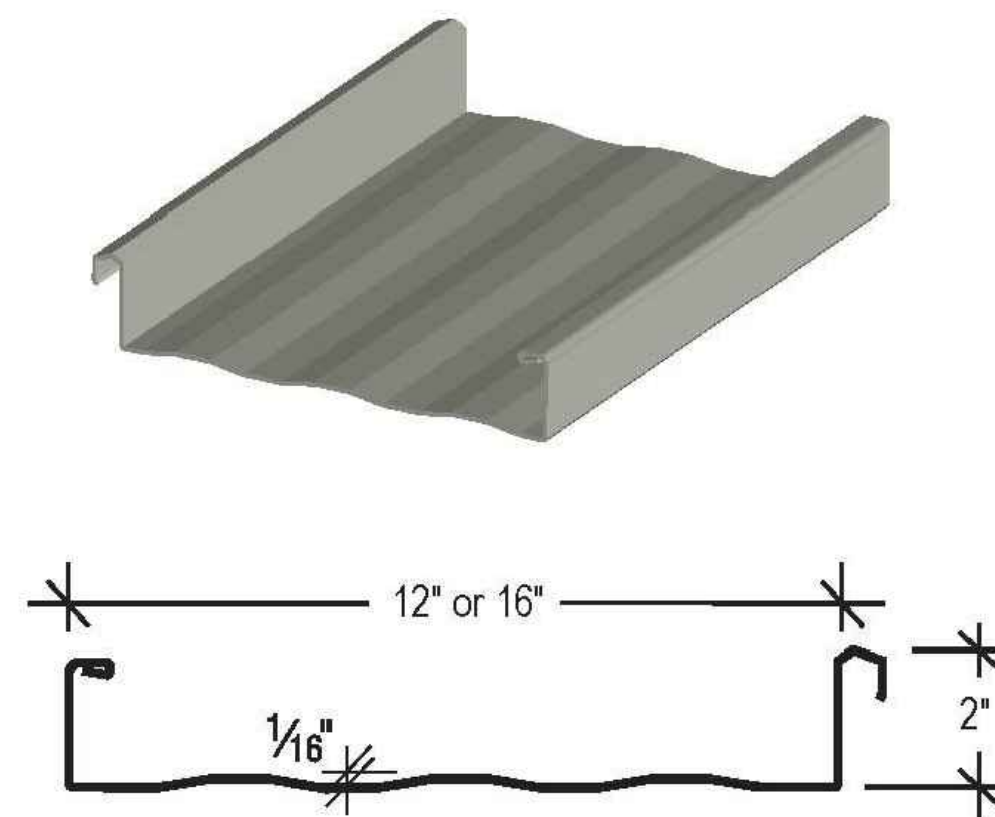
**Surface Mount Down-Lights at Existing Covered Walkway**  
Juno SlimForm Ultra-Low Profile LED Surface-Mount Downlights

### COLUMN WRAP



**Decorative Column Wrap Over Existing Columns**  
ProSelect Square Semi-Assembled Flat Panel Column Wrap with Plain Cap & Base

### METAL ROOFING

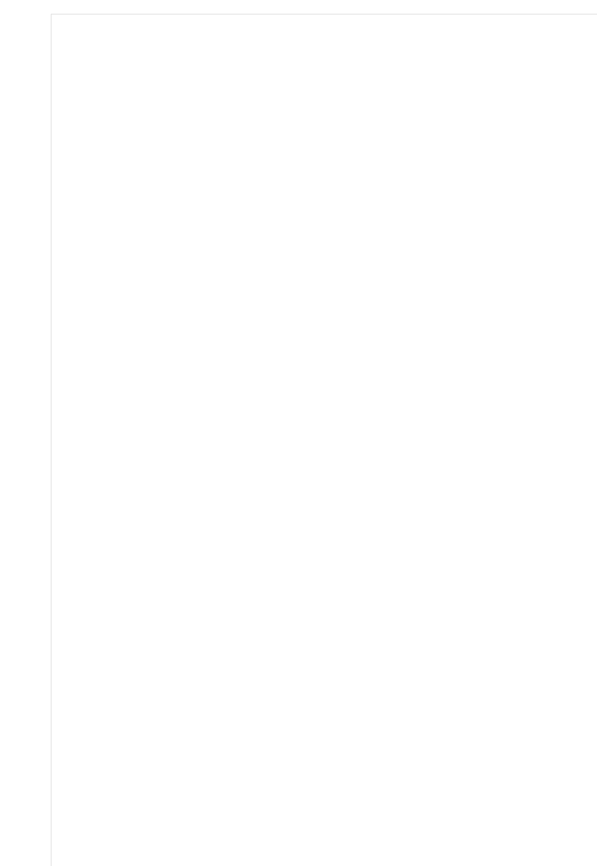


**Vertical Leg Structural Standing Seam Metal Roof System on New Mansard Roof**  
Mansard Metal Roof Covering with Concealed Fastening System, Smooth Striated

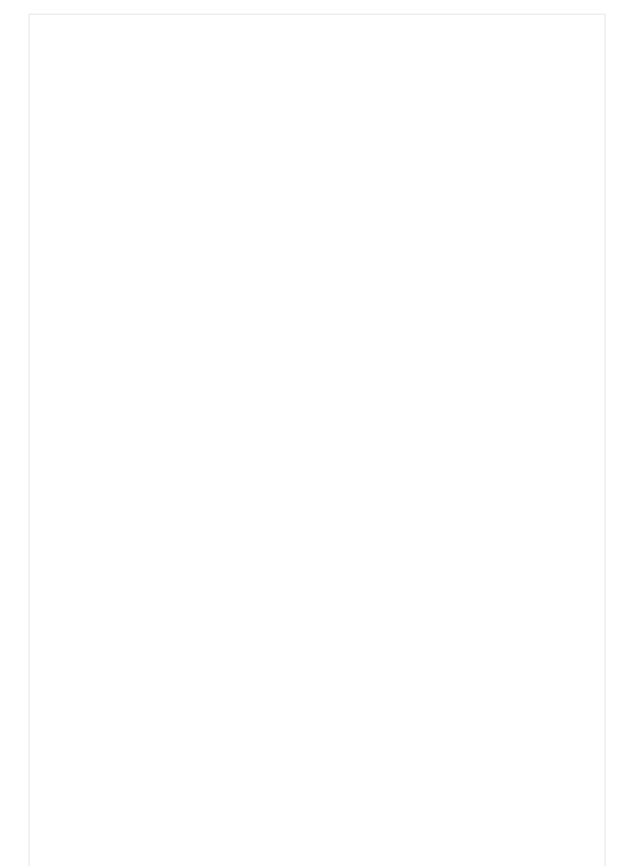
### PAINT COLORS



**1** SW7005  
PURE WHITE



**2** SW7665  
WALL STREET



**3** SW7615  
SEA SERPENT





